

BYLAW 1461/19
AMENDMENTS TO LAND USE BYLAW 1385/17
DC1, RECREATIONAL VEHICLE STORAGE AND R6 - MODULAR DWELLING DISTRICT
STURGEON COUNTY, MORINVILLE, ALBERTA

A BYLAW OF STURGEON COUNTY, ALBERTA FOR THE PURPOSE OF AMENDING THE LAND USE BYLAW 1385/17.

WHEREAS, the *Municipal Government Act*, RSA 2000 c.M-26, any regulations thereunder, and any amendments or successor legislation thereto, authorize Council to establish and amend the Land Use Bylaw 1385/17;

AND WHEREAS, the Council of Sturgeon has deemed it desirable to amend Land Use Bylaw 1385/17;

NOW THEREFORE, the Council of Sturgeon County, duly assembled, hereby enacts as follows:

THAT LAND USE BYLAW 1385/17 BE AMENDED AS FOLLOWS:

1. That the following parcels, i.e.:

Pt. SE 31-54-27 W4M;
Lot 54, Block RLY, Plan 6054AO; and,
Lot D, Plan 2436NY,

as shown in Schedule "A", be re-districted from "DC1 – Direct Control District" to "R6 – Modular Dwelling District".

2. That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of

Pt. SE 31-54-27 W4M;
Lot 54, Block RLY, Plan 6054AO; and,
Lot D, Plan 2436NY,

as shown in Schedule "A".

3. That a ±2.2ha portion and a 1.04ha portion of SE 31-55-25 W4M, as shown in Schedule "B", be re-districted respectively from DC1 – Direct Control District" and "AG – Agricultural District" to "RVS – Recreational Vehicle Storage District".

4. That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of a ±2.2ha portion and a 1.04ha portion of SE 31-55-25 W4M, as shown in Schedule "B".

- ~~5. That a ±3.29ha portion of Lot 1, Block 4, Plan 0426720, as shown in Schedule "C", be re-districted from "DC1 – Direct Control District" to "RVS – Recreational Vehicle Storage District" and the remaining ±1.2ha portion of the parcel and as shown in Schedule "C", be re-districted from "DC1 – Direct Control District" to "R2 – Country Estate Residential District".~~

- ~~6. That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of Lot 1, Block 4, Plan 0426720, as shown on Schedule "C".~~

- ~~7.5.~~ That a ±3.01ha portion of SE 14-55-26 W4M, as shown on Schedule "~~DC~~", be re-districted from "AG – Agriculture District" to "RVS – Recreational Vehicle Storage District".
- ~~8.6.~~ That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of a ±3.01ha portion of SE 14-55-26 W4M as shown on Schedule "~~DC~~".
- ~~9.7.~~ That a ±1.35ha portion of Lot 2, Block 1, Plan 2020457, as shown in Schedule "~~ED~~", be re-districted from "AG – Agricultural District" to "DC1 – Direct Control District".
- ~~10.8.~~ That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of Lot 2, Block 1, Plan 2020457, as shown on Schedule "~~ED~~".
- ~~11.9.~~ That Land Use Bylaw 1385/17 be amended by adding the following district "DC 14– Direct Control District 14 – Lot 11, St. Albert Settlement" as described in Schedule "~~FE~~".
- ~~12.10.~~ That Lot 11, St. Albert Settlement be re-districted from "DC1 – Direct Control District" to "DC14 – Direct Control District 14 – Lot 11, St. Albert Settlement".
- ~~13.11.~~ That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of Lot ~~11~~, St. Albert Settlement to "DC14 – Direct Control District 14 – Lot 11 St. Albert Settlement".
- ~~14.12.~~ That Land Use Bylaw 1385/17 be amended by adding the following district "DC 19– Direct Control District 19 – Lot 1, Plan 9022530" as described in Schedule "~~GF~~".
- ~~15.13.~~ That Lot 1, Plan 9022530 and a ±1ha portion of Lot 1, Block 1, Plan 0423964 as indicated in Schedule "~~HG~~" be re-districted from "DC1 – Direct Control District" to "DC19 – Direct Control District 19 – Lot 1, Plan 9022530".
- ~~16.14.~~ That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of Lot 1, Plan 9022530 and a ±1ha portion of Lot 1, Block 1, Plan 0423964 as indicated in Schedule "~~HG~~".
- ~~17.15.~~ That a ±8ha portion of Lot 1, Block 1, Plan 1222385 as indicated in Schedule "~~H~~" be re-districted from AG – Agriculture District" to "DC1 – Direct Control District".
- ~~18.16.~~ That Part 19.2 Schedule 1 – Land Use District Map be changed to reflect the re-districting of a ±8ha portion of Lot 1, Block 1, Plan 1222385 as indicated in Schedule "~~H~~".

This Bylaw shall come into force and take effect upon being passed.

Read a first time this 26th day of May, 2020.

Read a second time this ____ day of _____ 2020.

Read a third time this ____ day of _____ 2020.

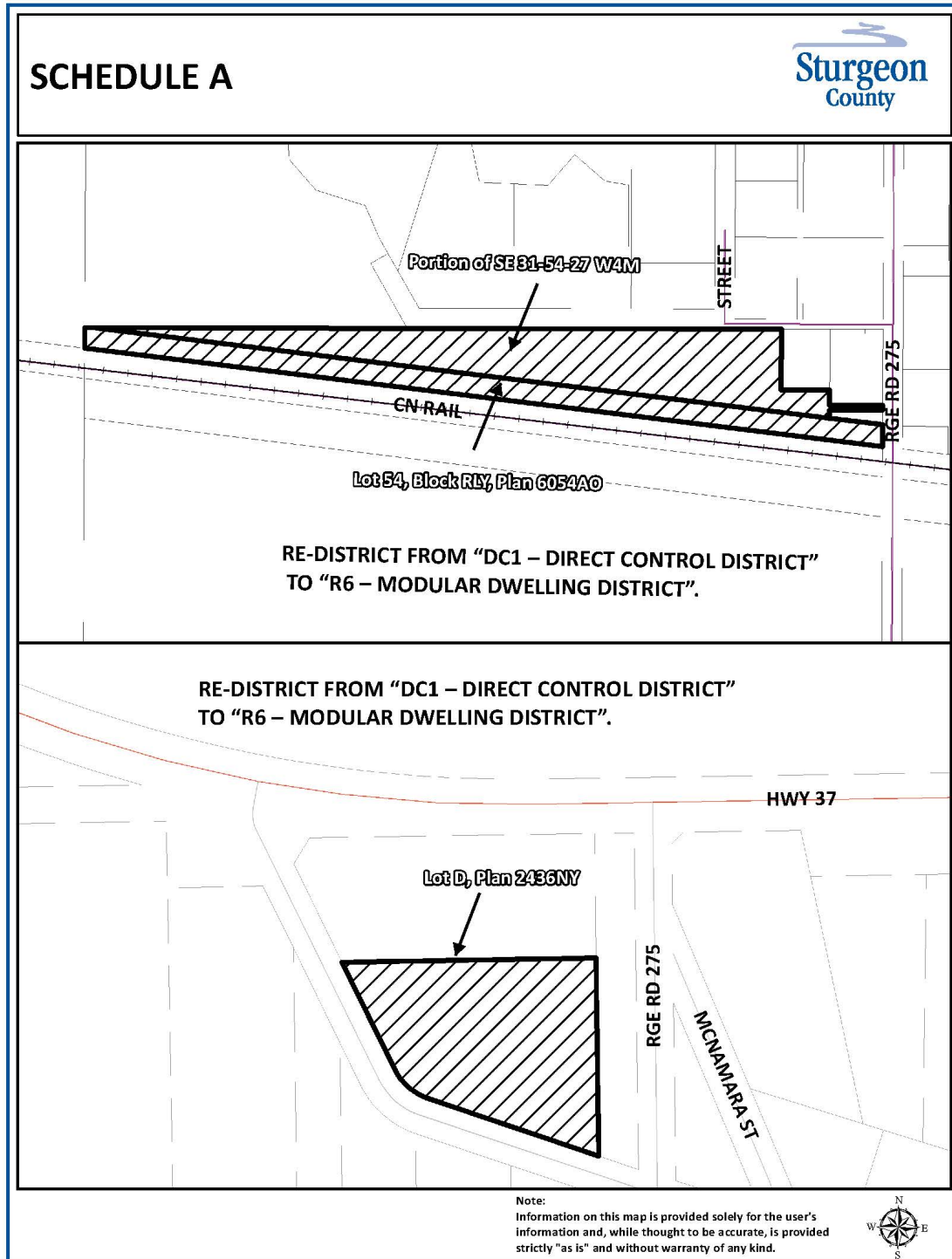
Alanna Hnatiw
MAYOR

Reegan McCullough
COUNTY COMMISSIONER (CAO)

DATE SIGNED

If any portion of this bylaw is declared invalid by a court of competent jurisdiction, then the invalid portion must be severed and the remainder of the bylaw is deemed valid.

Schedule "A"

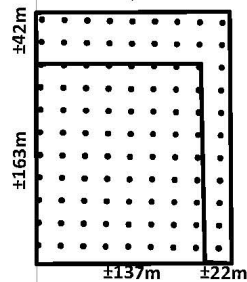


Schedule "B"

SCHEDULE B



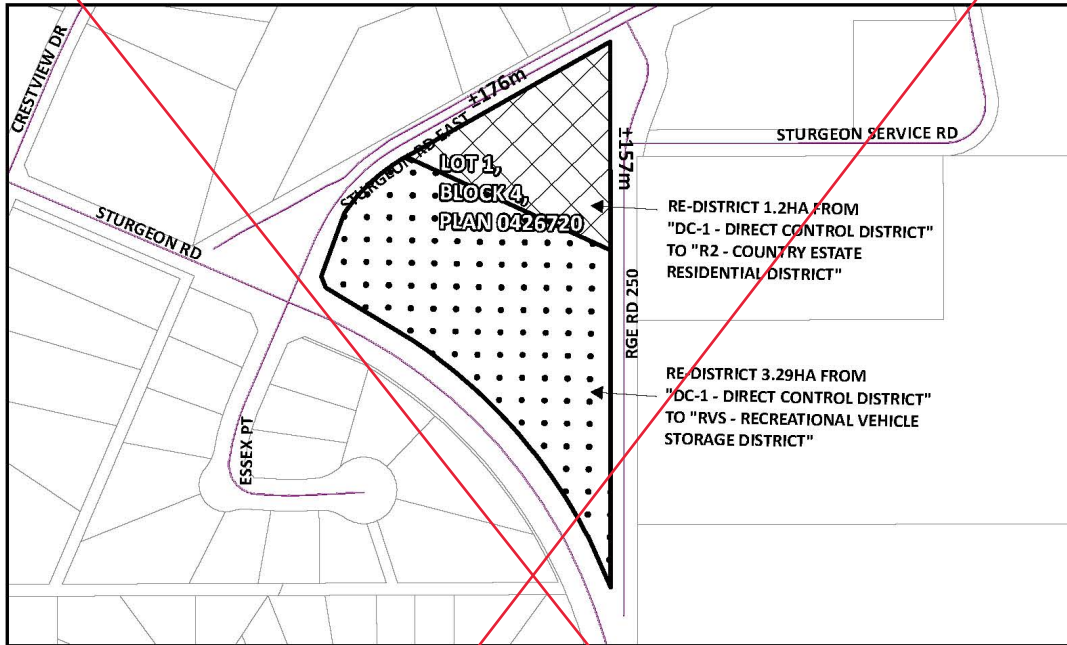
SE 81-55-25 W4M
RE-DISTRICT ± 1.04 HA FROM "AG - AGRICULTURE DISTRICT"
TO "RVS - RECREATIONAL VEHICLE STORAGE DISTRICT"



RE-DISTRICT ± 2.21 HA FROM "DC-1 - DIRECT CONTROL DISTRICT"
TO "RVS - RECREATIONAL VEHICLE STORAGE DISTRICT"

Note:
Information on this map is provided solely for the user's
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strictly "as is" and without warranty of any kind.

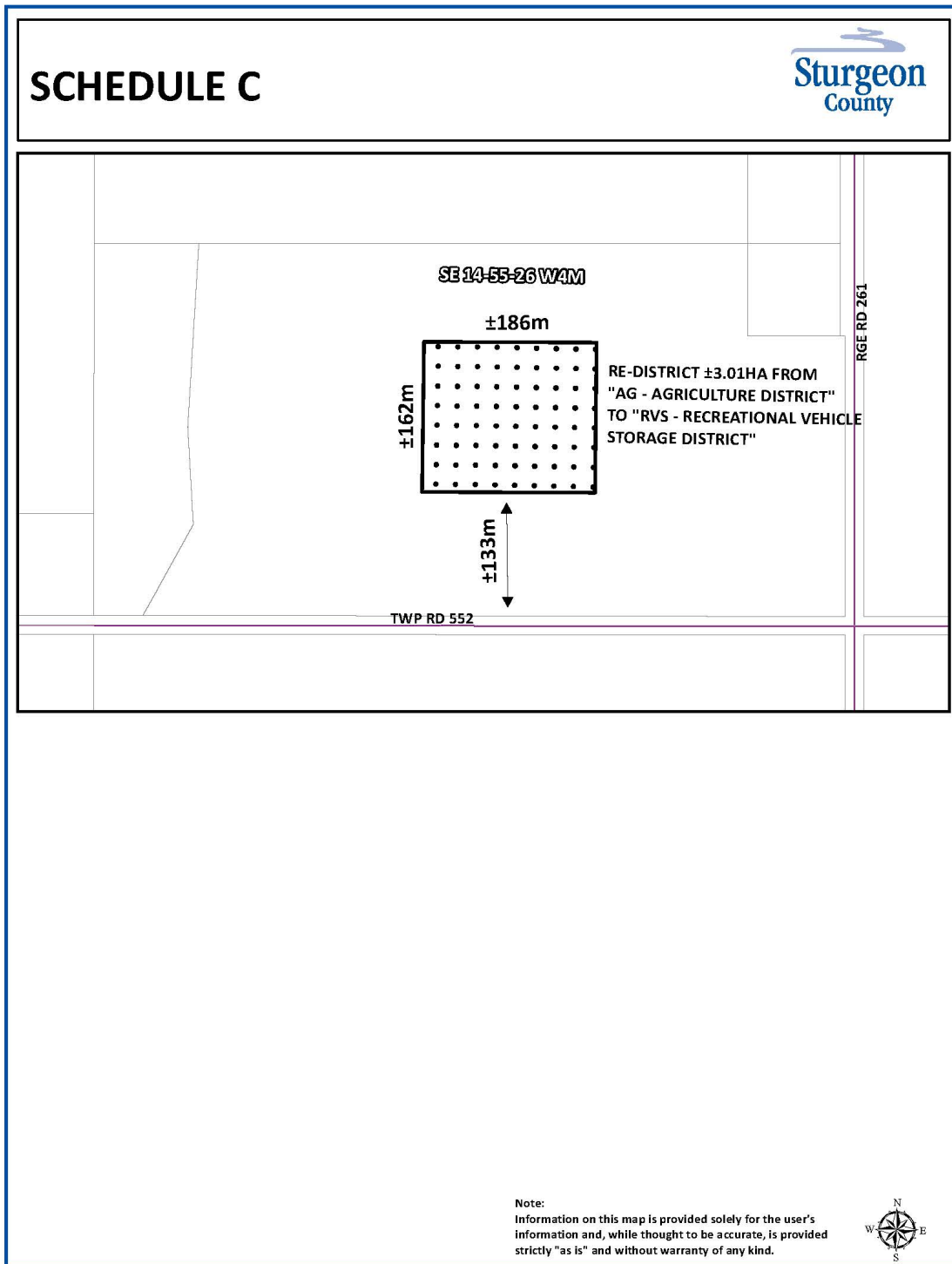


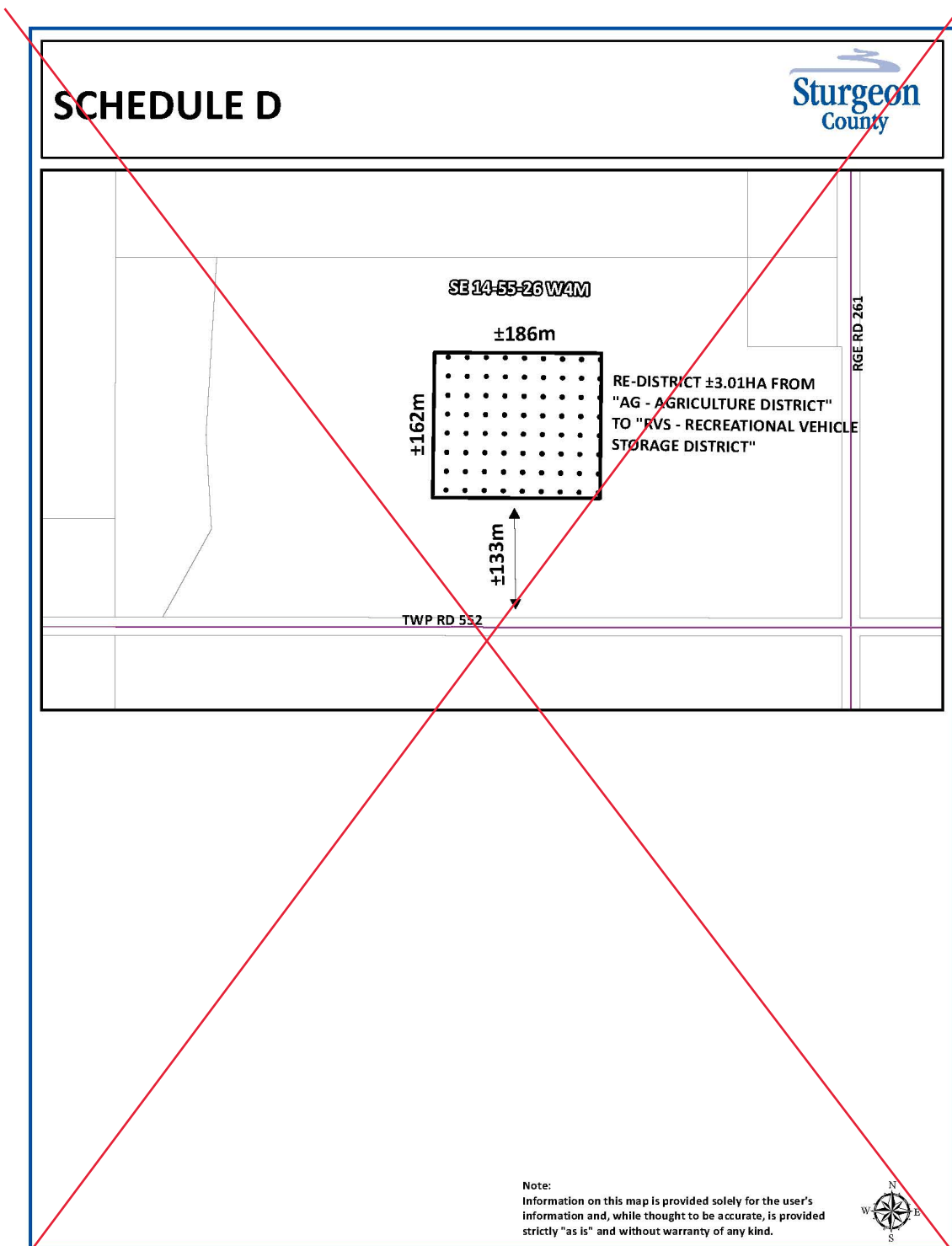
~~Schedule "C"~~**SCHEDULE C**

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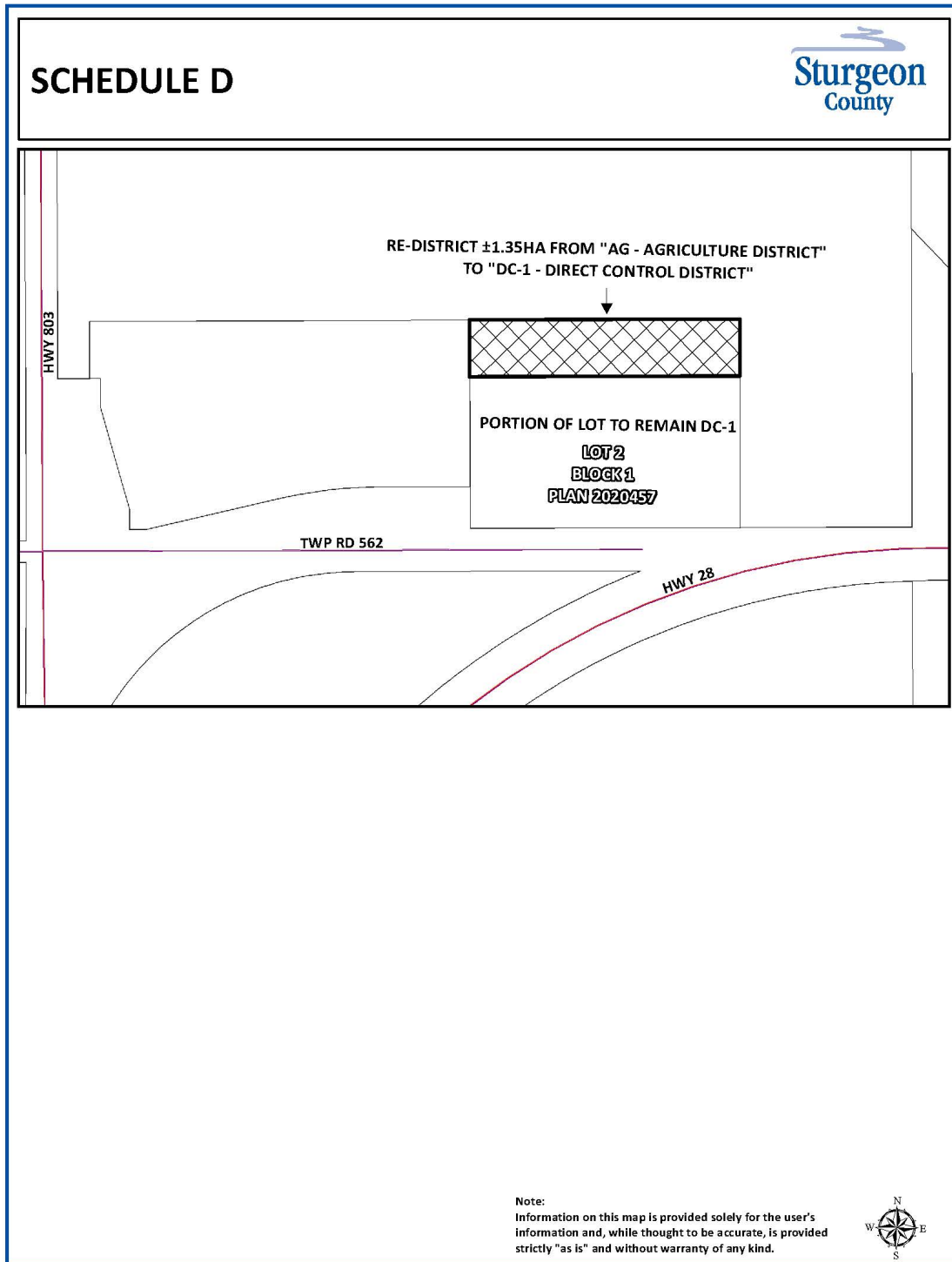


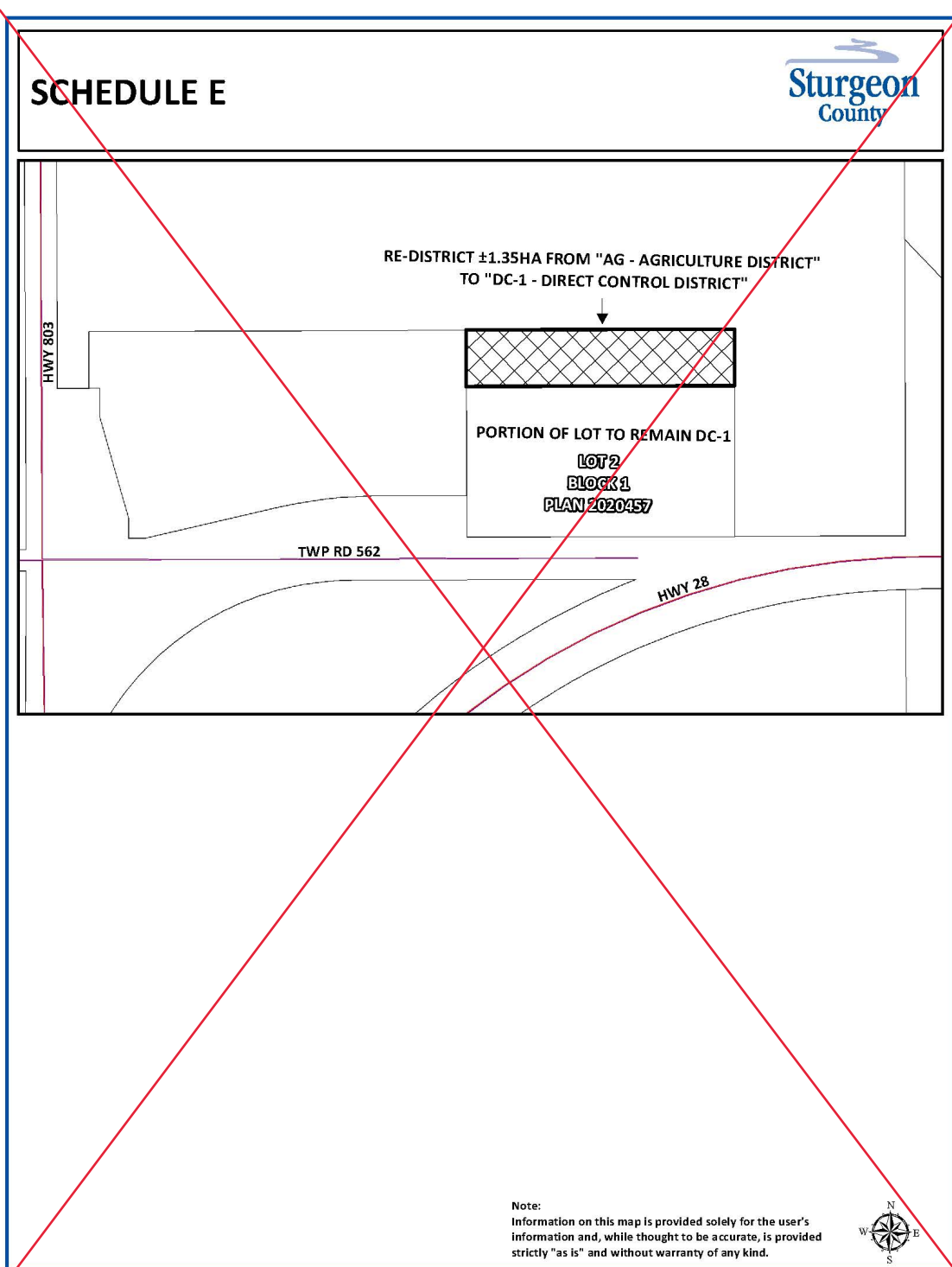
Schedule "C"



~~Schedule "D"~~

Schedule "D"



~~Schedule "E"~~

~~Schedule "F"~~ Schedule "E"**16.14 DC14 – DIRECT CONTROL DISTRICT 14 – LOT ~~OT~~ 11, ST. ALBERT SETTLEMENT****.1 General Purpose**

To establish a Direct Control District that provides for the limited recreational/industrial use provided for herein, and the existing *Fleet service* business located on the property.

.2 District Boundaries

Lot ~~OT~~ 11, St. Albert Settlement.

.3 Decision-Making Authority

In this district, the Decision-Making Authority is the Development Officer and the Municipal Planning Commission.

.4 Uses

Development Officer	Municipal Planning Commission
<i>Accessory, building</i>	<i>Accessory, building</i>
<i>Accessory, use</i>	<i>Accessory, use</i>
<i>Dwelling, single detached</i>	<i>Campground</i>
<i>Fleet service</i>	<i>Outdoor Storage</i>

.5 Subdivision Regulations

Any future subdivision of the subject property will be at the discretion of the Subdivision Authority and may require an amendment to this Bylaw.

.6 Development Regulations

<i>All yard setbacks and heights</i>	<i>At the discretion of the Development Authority</i>
<i>Parcel coverage</i>	<i>At the discretion of the Development Authority</i>

.7 Additional Development Regulations

All *development* in this district is subject to the regulations stated in Parts 5 through 9 of this Bylaw.

~~Schedule "G"~~ Schedule "F"16.19 DC19 – DIRECT CONTROL DISTRICT ~~18 19~~ – LOT 1, PLAN 9022530

.1 General Purpose

To establish a Direct Control District that provides for limited recreational vehicle storage and recreation.

.2 District Boundaries

Lot 1, Plan 9022530 and a ±1ha portion of Lot 1, Block 1, Plan 0423964.

.3 Decision-Making Authority

In this district, the Decision-Making Authority is the Development Officer and the Municipal Planning Commission.

.4 Uses

Development Officer	Municipal Planning Commission
<i>Accessory, building</i>	<i>Accessory, building</i>
<i>Accessory, use</i>	<i>Accessory, use</i>
<i>Dwelling, single detached</i>	<i>Campground</i>
<i>Dugout</i>	<i>Eating and Drinking Establishment</i>
<i>Recreational Vehicle Storage Facility</i>	<i>Recreation facility, outdoor</i>

.5 Subdivision Regulations

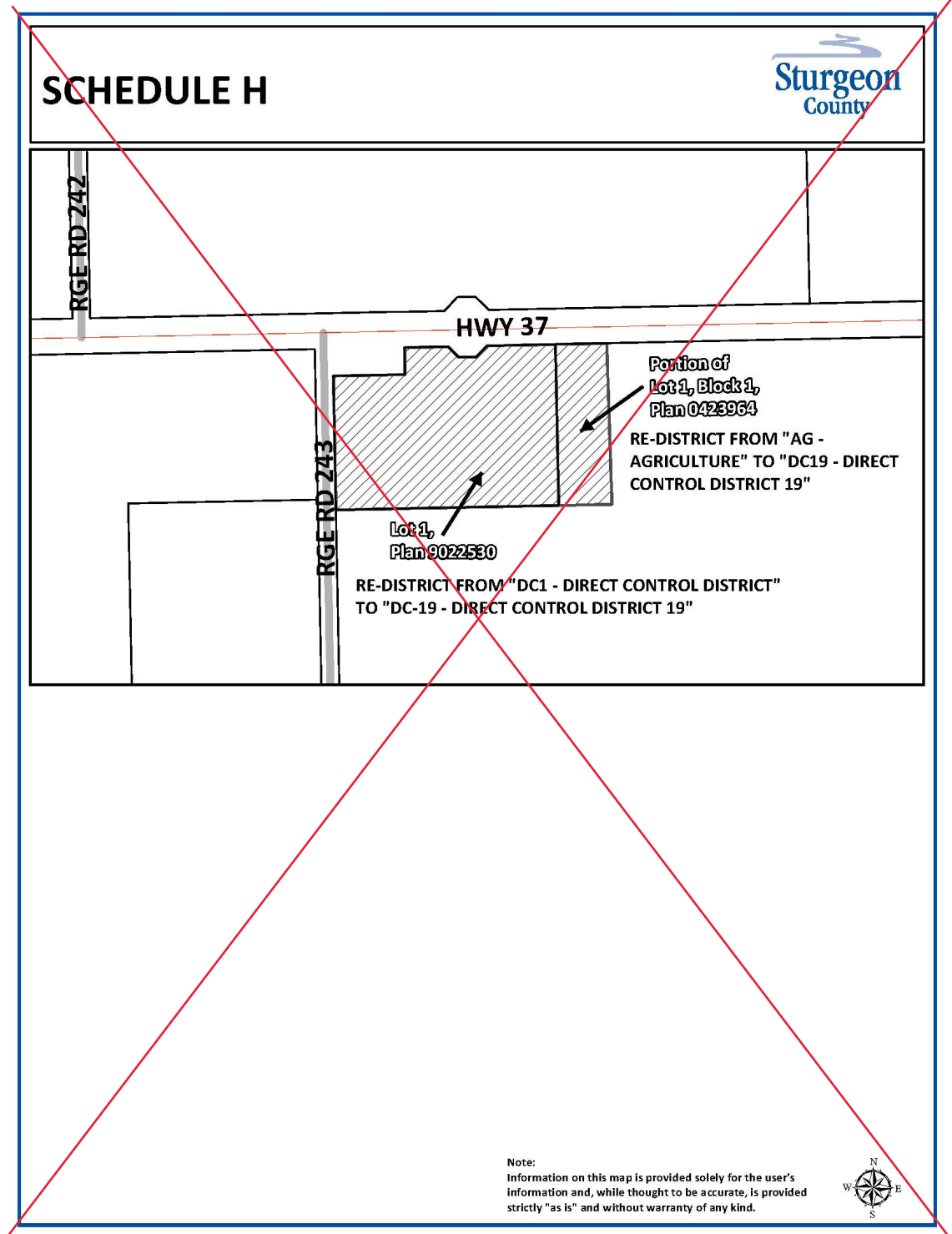
Any future subdivision of the subject property will be at the discretion of the Subdivision Authority.

.6 Development Regulations

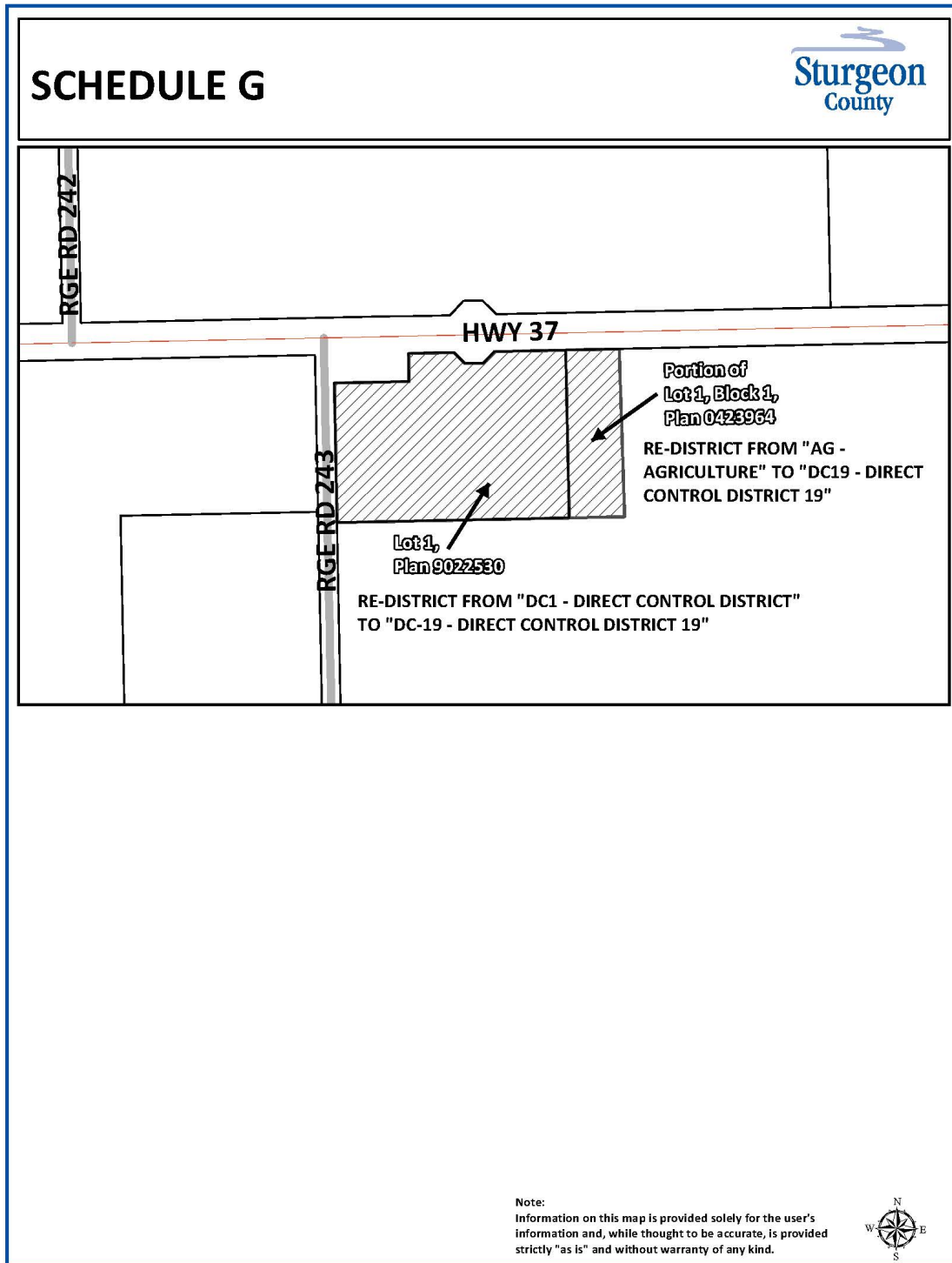
<i>All yard setbacks and heights</i>	<i>At the discretion of the Development Authority</i>
<i>Parcel coverage</i>	<i>At the discretion of the Development Authority</i>

.7 Additional Development Regulations

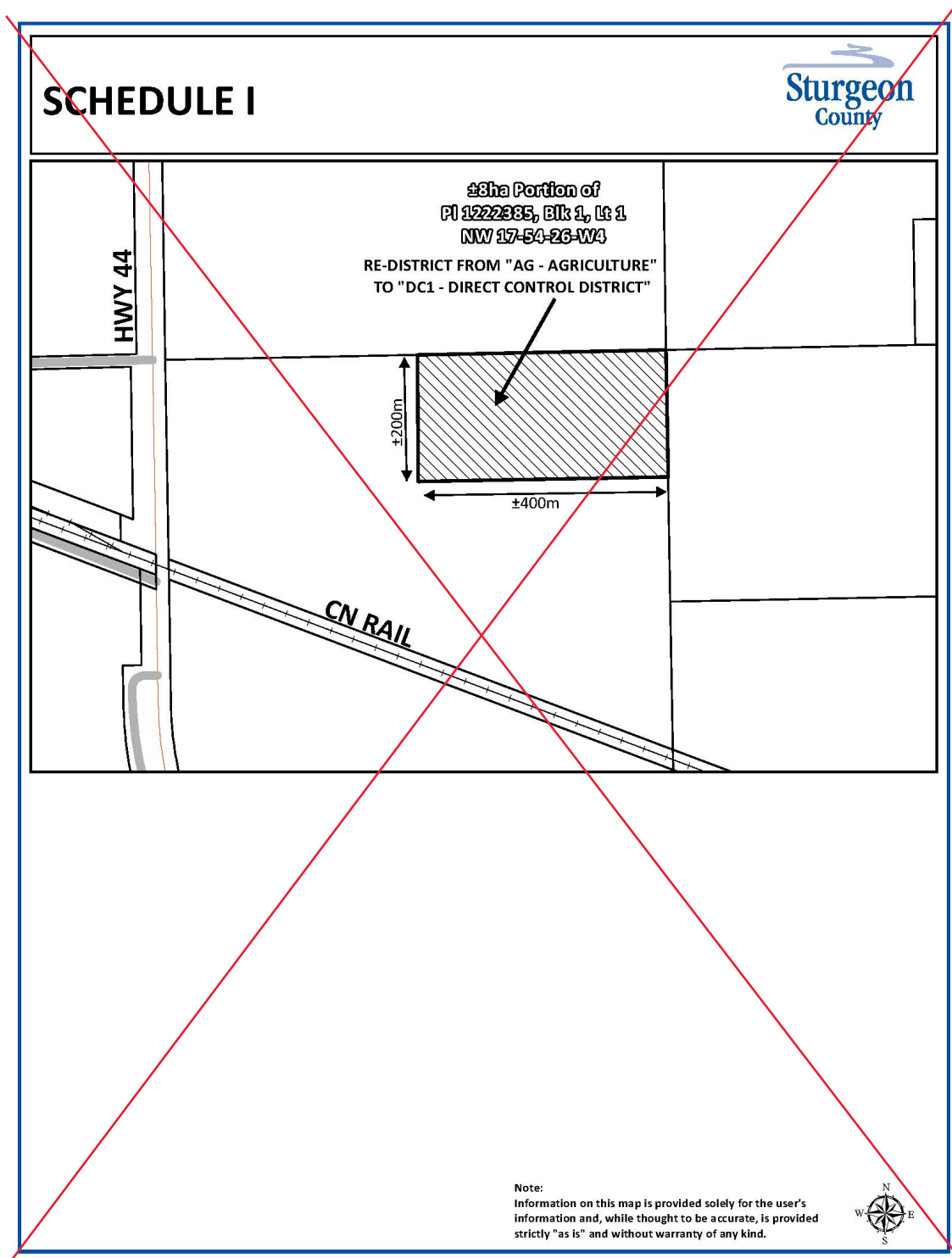
- (a) All *development* in this district is subject to the regulations stated in Parts 5 through 9 of this Bylaw.
- (b) Notwithstanding subsection 16.18.4 the number of dwelling units on a parcel must conform to Section 5.5 of this Bylaw.
- (c) The number and location of shipping containers shall be at the discretion of the Development Authority.

~~Schedule "H"~~

Schedule "G"



Schedule "I"



Schedule "H"

